



Realizing the Vision

2017 Facilities Master Plan

Historic Development By Decade



1971
Aerial



1980
Aerial



1996
Aerial



2009
Aerial

Since 2009, we have achieved...

Academic

- new **Performing Arts and Humanities Building**
- partial renovation of the **Fine Arts Building**
- upgrades to **classrooms and lecture halls**
- design of the **Interdisciplinary Life Sciences Building** and begun construction
- programming for the **Global, Cultural and Visual Studies Building**



Since 2009, we have achieved...

Residential

- addition to **Patapsco Hall**
- renovation to **Potomac Hall**
- new elevators and other improvements in **Chesapeake and Susquehanna Halls**
- renovation of **Terrace, Hillside and West Hill Apartments** (21 buildings)
- new **Apartment Community Center**



Since 2009, we have achieved...

Parking

- new **Lots 9 and 29**
- additions to **Lot 1 and Lot 3**
- modifications to the **Administration Drive Garage** and a new service lot

Roadways

- pedestrian improvements at numerous **crossings of Hilltop Circle**
- new **Campus Entrance** featuring capacity and aesthetic improvements to **UMBC Boulevard**



Since 2009, we have achieved...

Sustainability

- improvements to the **Library Pond**
- **green roof** on the Administration Building

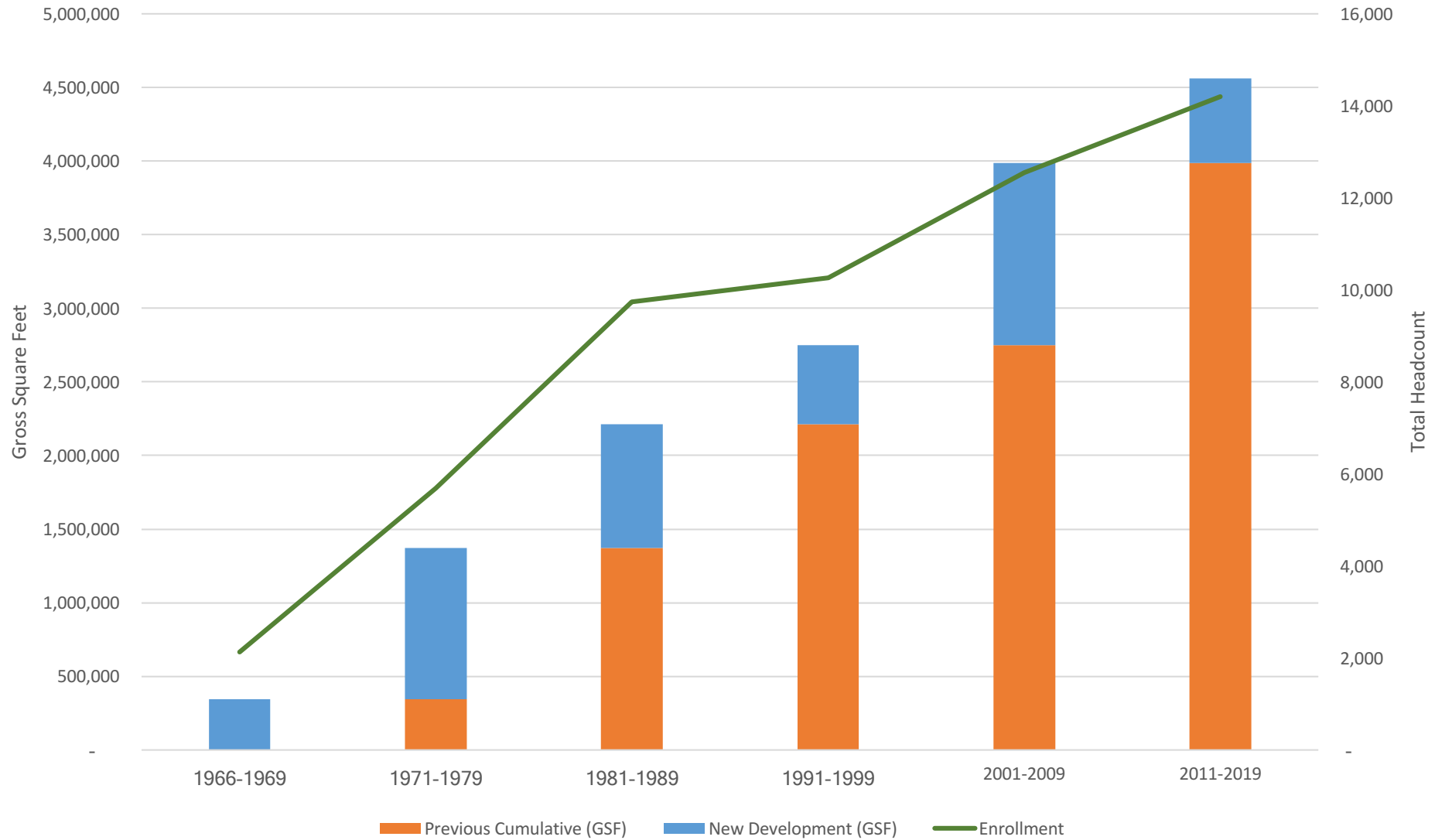
Athletics and Recreation

- new **ball court and recreation field**
- new **stadium turf field and track**
- construction (*on-going*) of the **Event Center**





Construction Keeps Pace with Enrollment Growth



What guides our growth and development?

Facilities Master Plan

Framework consistent with the university mission and strategic plan

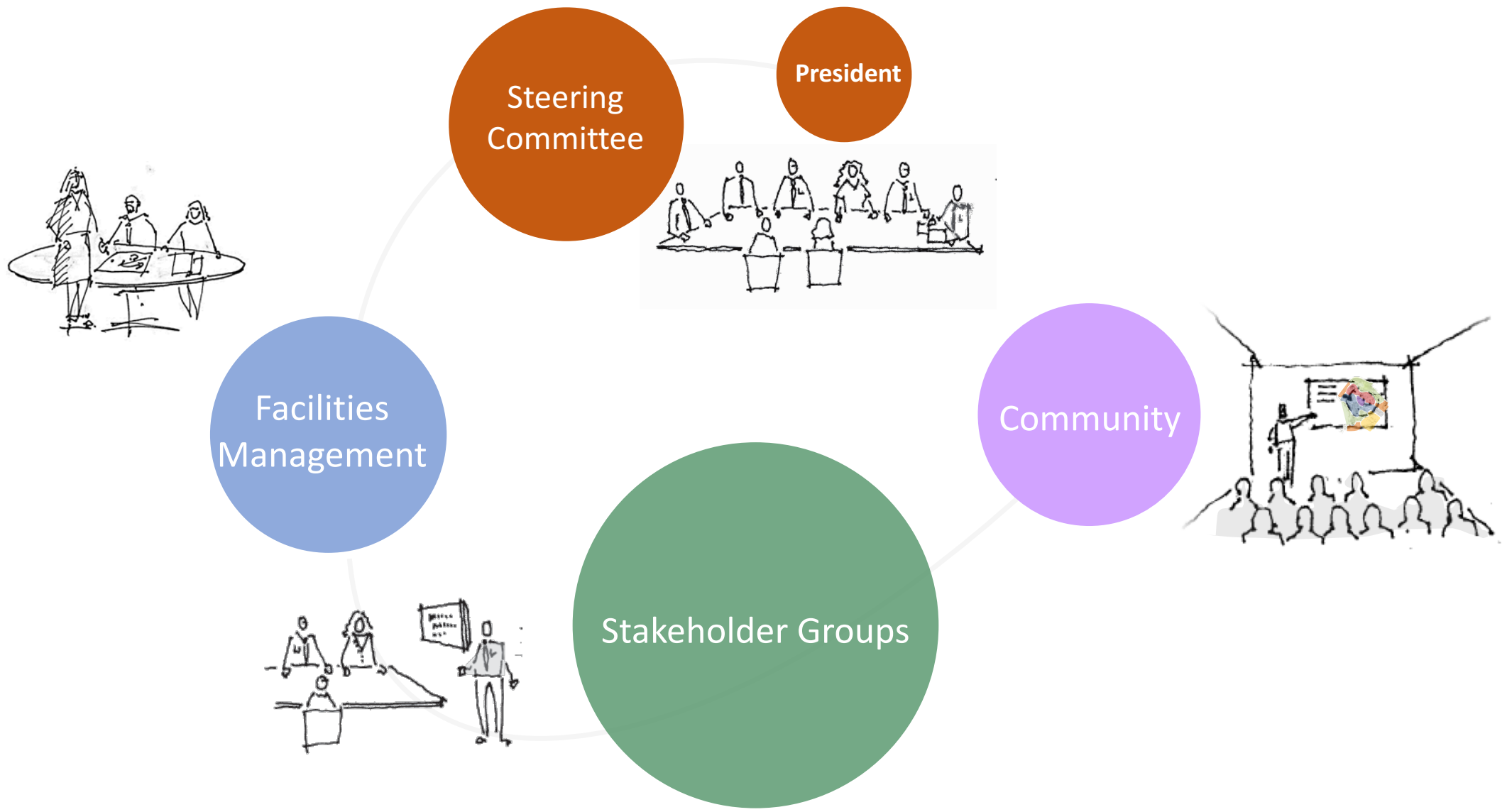
Cohesive approach to renew existing buildings, upgrade utilities, construct new buildings, and enhance site features

Path forward to support a more sustainable future

Basis of our ten year capital plan

Engagement

2017 Facilities Master Plan



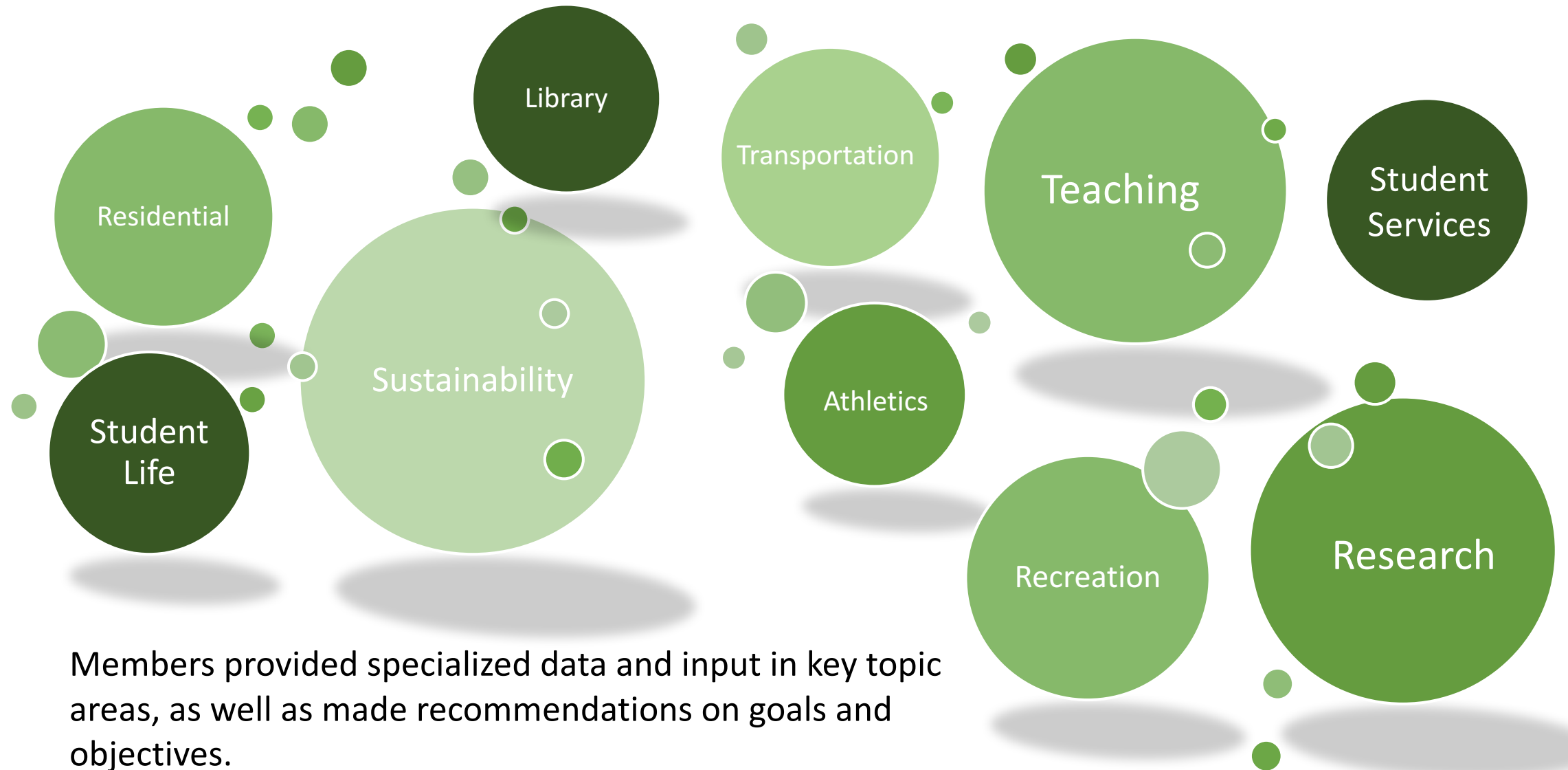
Steering Committee > Guiding Principles

2017 Facilities Master Plan

- 1 Align campus development with UMBC's **strategic plan**.
- 2 Provide for **enrollment growth** in an intentional manner.
- 3 Assure the campus is **welcoming** and accessible.
- 4 Promote **meaningful interactions** through thoughtful planning.
- 5 Advance **carbon neutrality** and protect the natural environment through responsible stewardship.
- 6 **Optimize** utilization of existing resources.
- 7 Encourage interdisciplinary scholarship and research through **purposeful adjacencies**.

Stakeholder Groups

2017 Facilities Master Plan



Members provided specialized data and input in key topic areas, as well as made recommendations on goals and objectives.

Observations & Recommendations

- **Transform library** into a learning commons to better serve students, faculty, and the public
- Develop **new core facilities** such as a 3D visualization studio and maker lab
- **Focus on community** with gallery, special collections, and meeting rooms



Observations & Recommendations

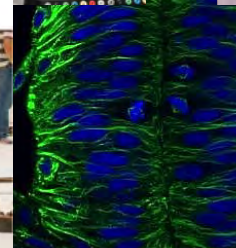
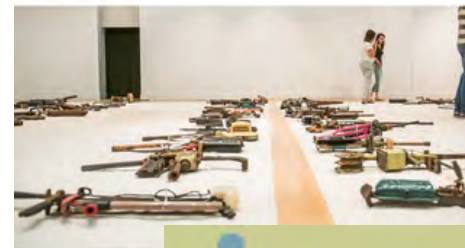
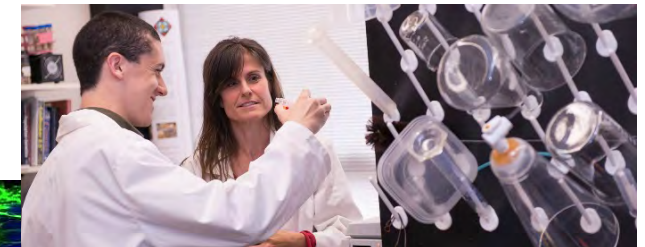
- Increase number of **active learning** environments
- **Upgrade** existing teaching spaces
- **Add** more instructional space when enrollment growth dictates



- Create more **interdisciplinary core facilities** to support a variety of research and academic needs
- **Raise the quality** of research space
- **Demolish the TRC** after construction of new research facilities



Maryland Institute for Policy Analysis & Research



CHMPR CENTER FOR HYBRID MULTICORE PRODUCTIVITY RESEARCH

- Foster **sense of community** - common areas, recreation, and living-learning environments
- **Add housing** with desirable amenities as enrollment grows
- **Add dining** capacity to meet current and future demand



Observations & Recommendations

- Provide **welcoming** interior and exterior student life spaces for learning, meeting, and gathering
- Improve and add on to **The Commons**
- Create suitable **conference/event** space



- **Renovate existing buildings** to accommodate clusters of student services:

Academic Support

Learning Resource Center, Library, OIT Help Desk, Student Disability Services

Admissions and Enrollment

Registrar, Financial Aid, Bursar, Campus Card, Graduate School, Admissions

Applied Learning

Advising, Alumni Relations, Career Center, IES, Shriver Center, Study Abroad Office

Wellness

Counseling Center, Health Promotion, University Health Services, Recreation

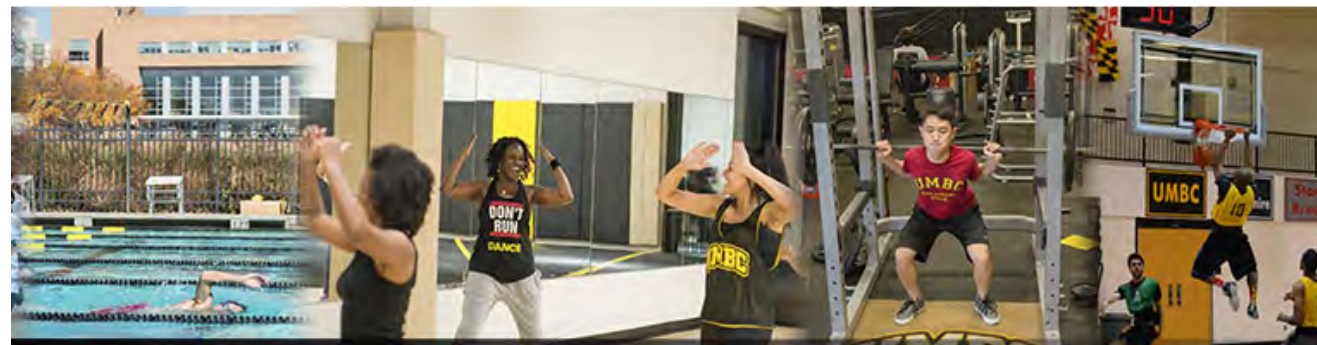
.... or consolidate student services into a **new building**



- **Renovate RAC** for recreation, health, and wellness facilities that support the greater UMBC community of faculty, staff, students, alumni, and neighbors

...and build a **new Health & Wellness Building** when RAC no longer serves needs

- Provide **indoor practice facility** for athletic teams so they don't compete with students for recreation space



- **Upgrade stadium complex** to promote success for soccer, lacrosse, track and field, baseball, and softball
- **Renovate RAC** to support swimming and diving teams, local swim teams, and summer programs
- Strengthen **pedestrian connections** to stadium complex



- Currently have **7,203 parking spaces** -> size of 27 football fields
- Build **new garages** when new buildings displace parking
- Promote our **commitment to sustainability**
 - alternatives to single occupancy vehicles (SOV)
 - reduce carbon footprint
 - change campus culture
 - **add bike lanes and EV charging stations**
 - **enhance carpool and transit facilities**



- Be good **environmental stewards**
- Integrate sustainability focusing on transportation, waste, and energy
- Provide opportunities to engage wooded/natural areas for research, education, & recreation
- Integrate stormwater management into landscape
- Build according to high performance building standards
- Upgrade building and utility systems to reduce energy demand
- **Don't build more space than we really need**



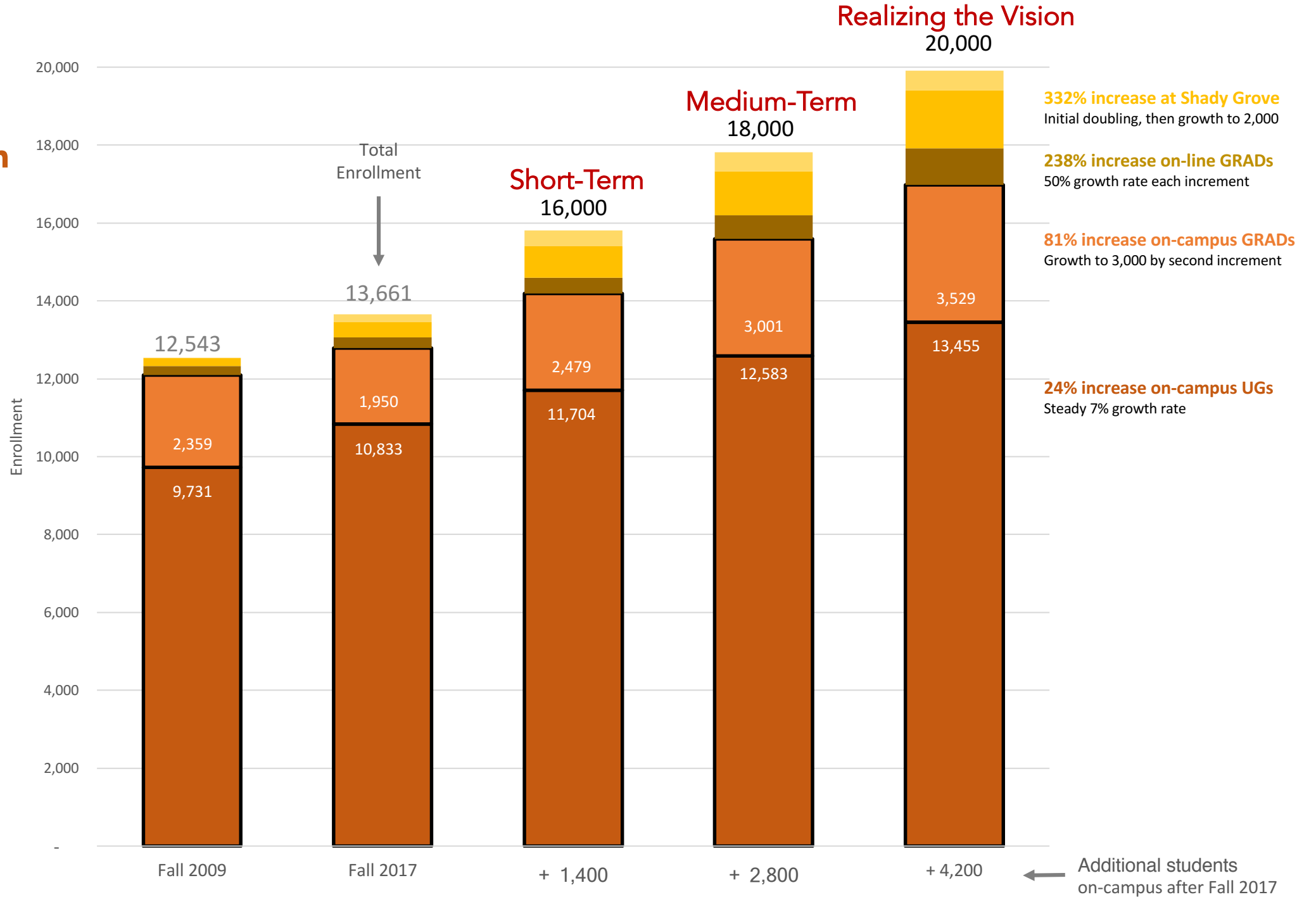


Our master plan is shaped by:

Guiding principles
Stakeholder input

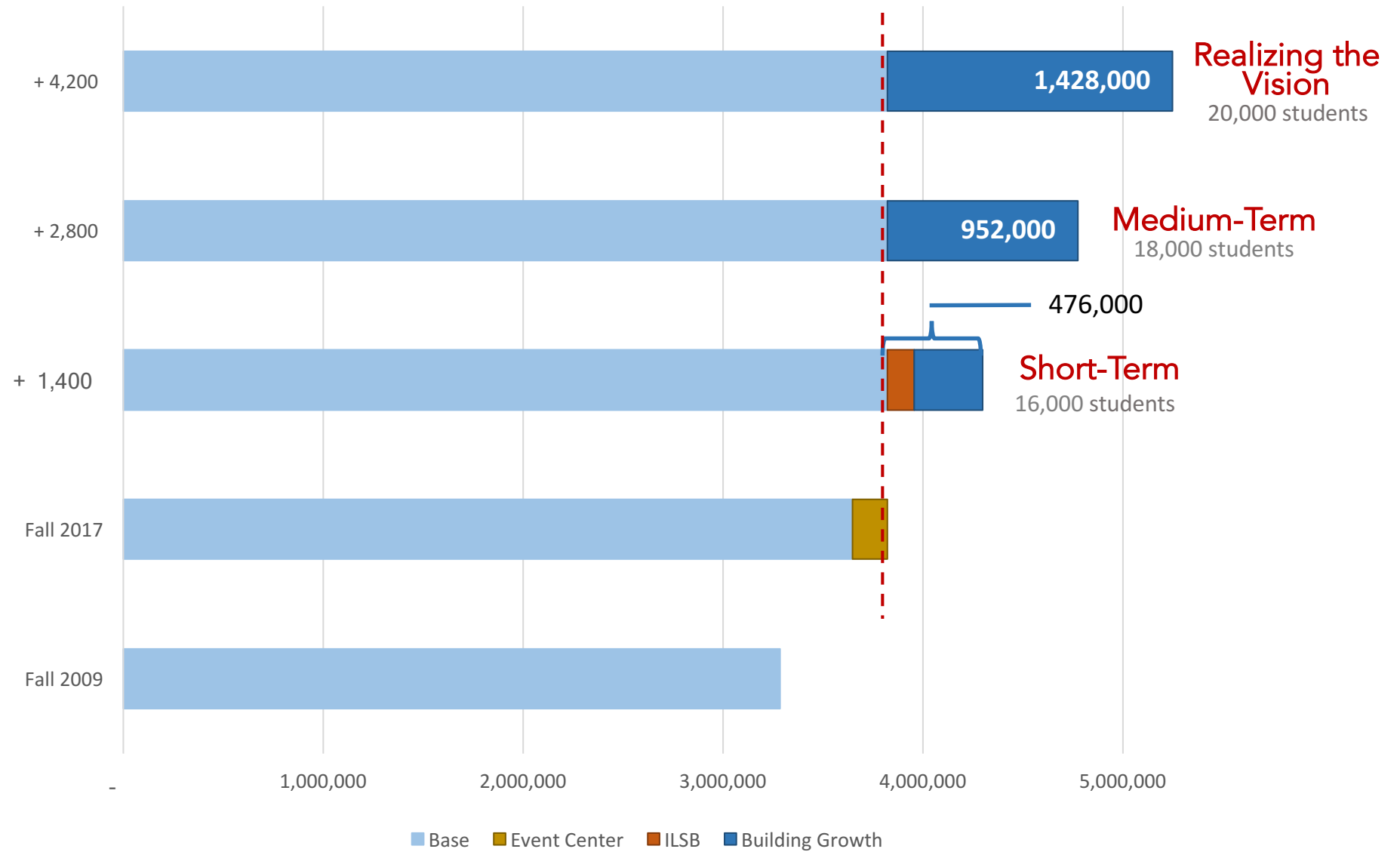
Enrollment growth
Pedestrian circulation
Outdoor places
Access and parking
Bicycling
Commitment to sustainability

Assumed Enrollment Growth Progression



Space Requirements with Assumed Enrollment Growth

Increase from 285 GSF to 320 GSF per on-campus student to align with space planning model



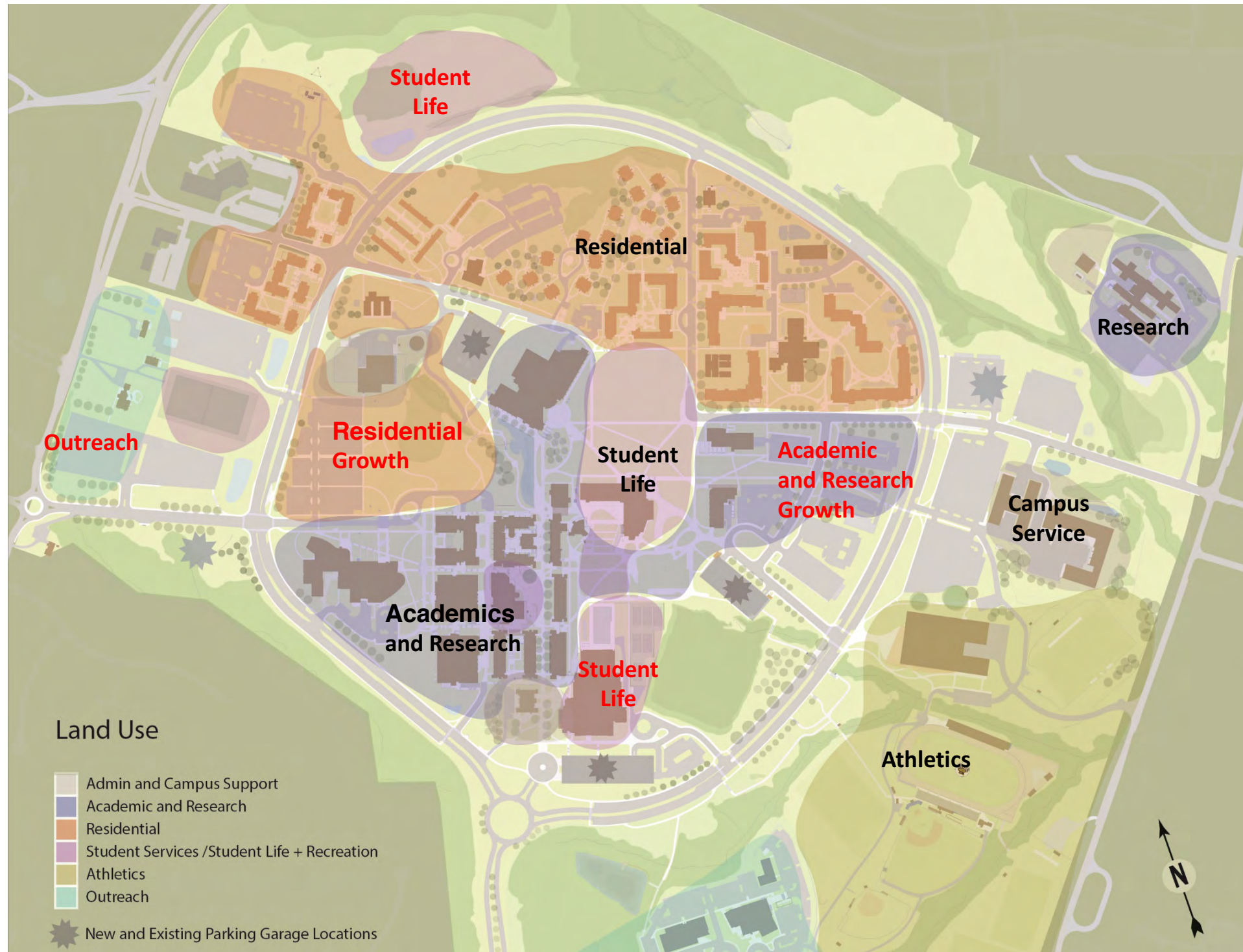
* All square footages exclude parking garages and include Walker Avenue Apartments



EXISTING LAND USE 2017

Compact zones with student life in the center

Large percentage of the campus dedicated to parking



PROPOSED LAND USE

- Extend academics and research eastward
- Extend residential toward academic core
- Expand student life opportunities
- Expand outreach along Wilkens Avenue



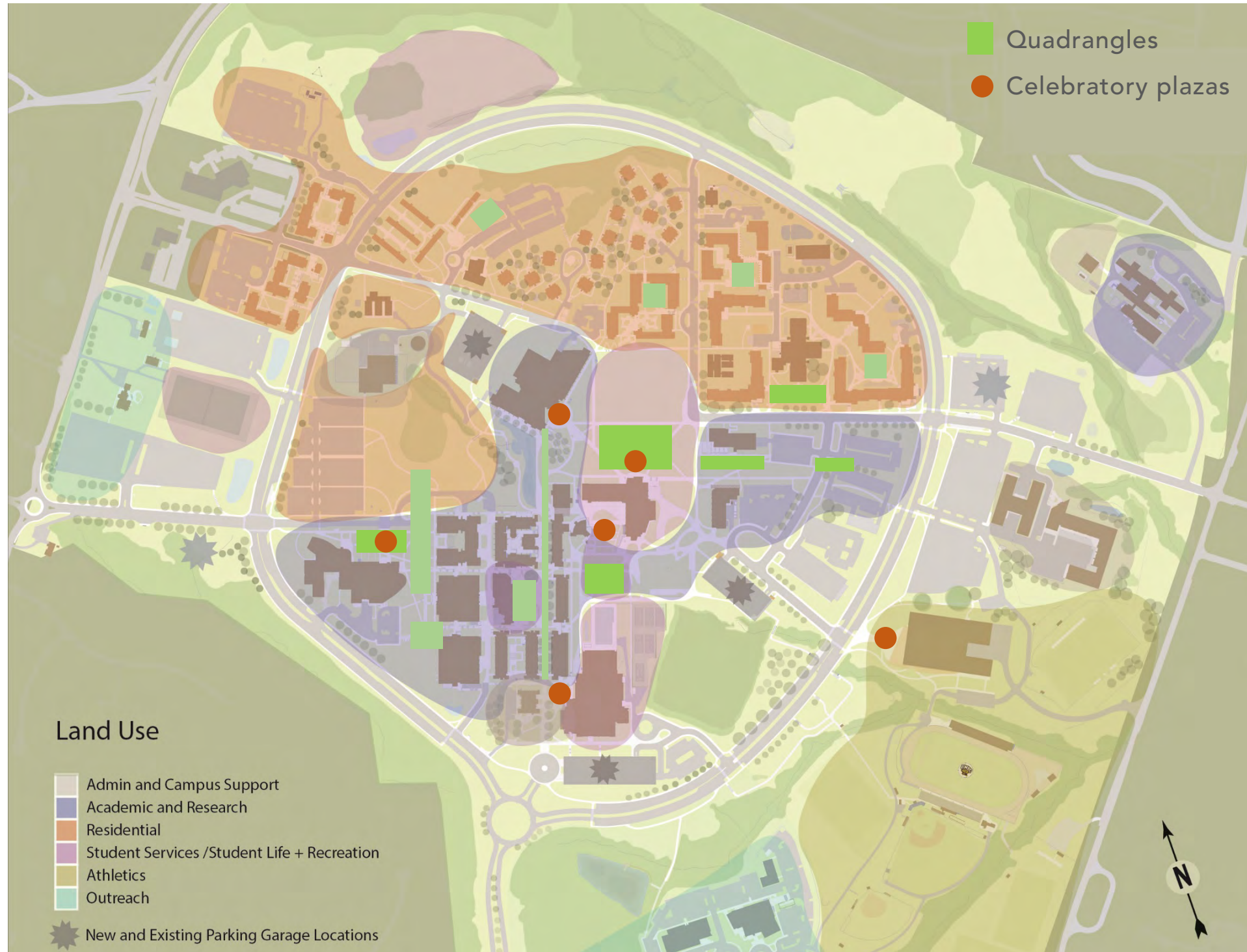
Pedestrian Circulation

Clear hierarchy of paths

New linkages between residential and the academic core

New bridges traverse the topography

Placement of parking garages to reinforce pedestrian movement



- Quadrangles
- Celebratory plazas

Outdoor Places

Enhance our network of plazas and green quadrangles

Create places to rest, meet friends and share ideas

Support student events and key university celebrations



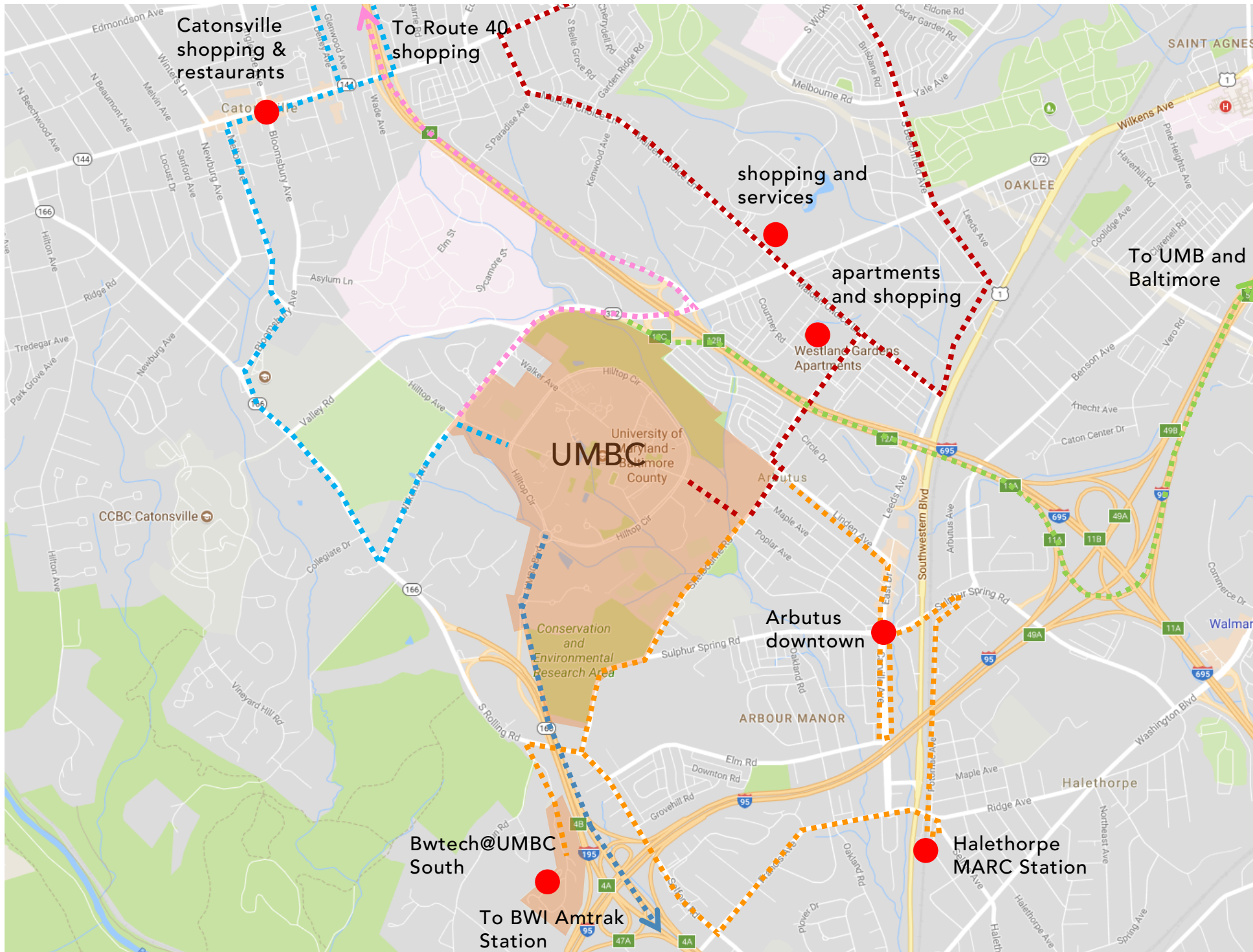
Access and Parking

Shift parking outside of Hilltop Circle as new buildings are located on parking lots

Improve campus access from Westland Boulevard

Increase safety - pedestrianize both Park Road and Poplar Avenue

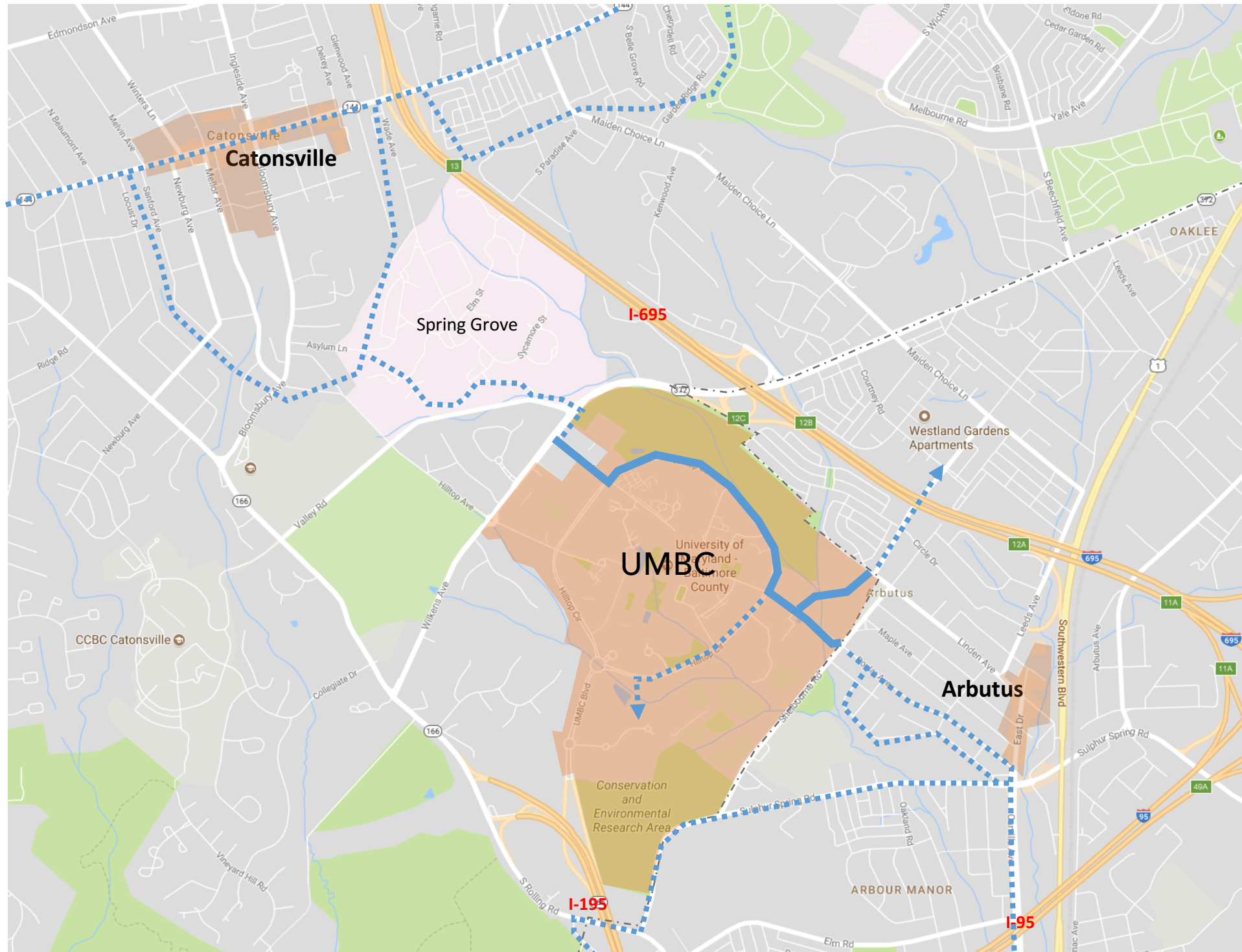
Celebrate portals to campus



Regional Transit Routes

UMBC Transit provides extensive transit service to the adjoining communities for students, staff and faculty.

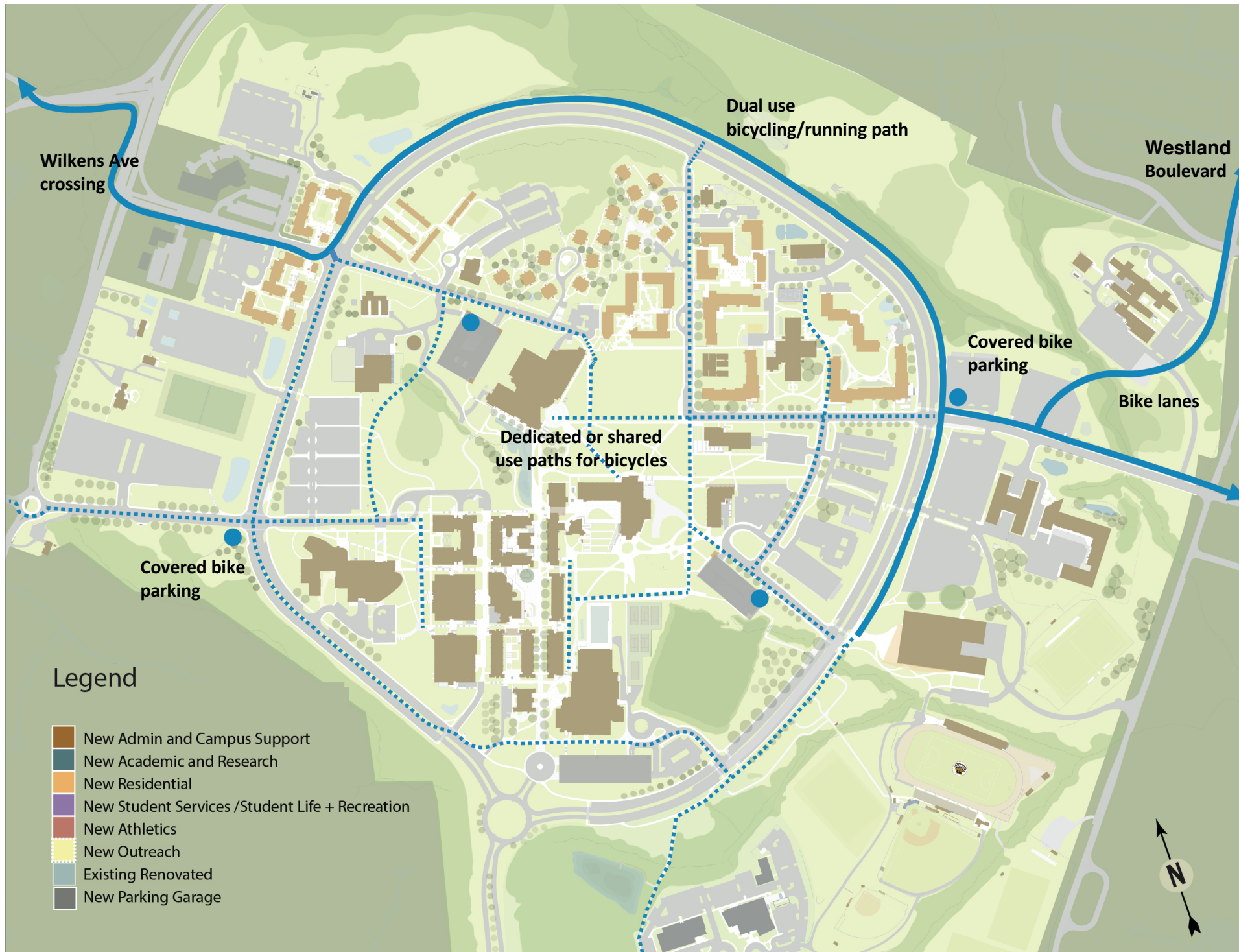
MTA also has regional bus service that serves the campus.



Regional Bicycle Routes

The campus plays a critical connecting role in regional bicycling routes

Proposed bicycling paths on campus will facilitate safe bicycling in the region



Bicycling

Improve connectivity to adjoining communities and surrounding housing

Bike lanes on Westland Blvd and connected to those in Spring Grove

Covered parking and repair facilities at blue dots

Dual-use bicycling and running path on north part of the loop

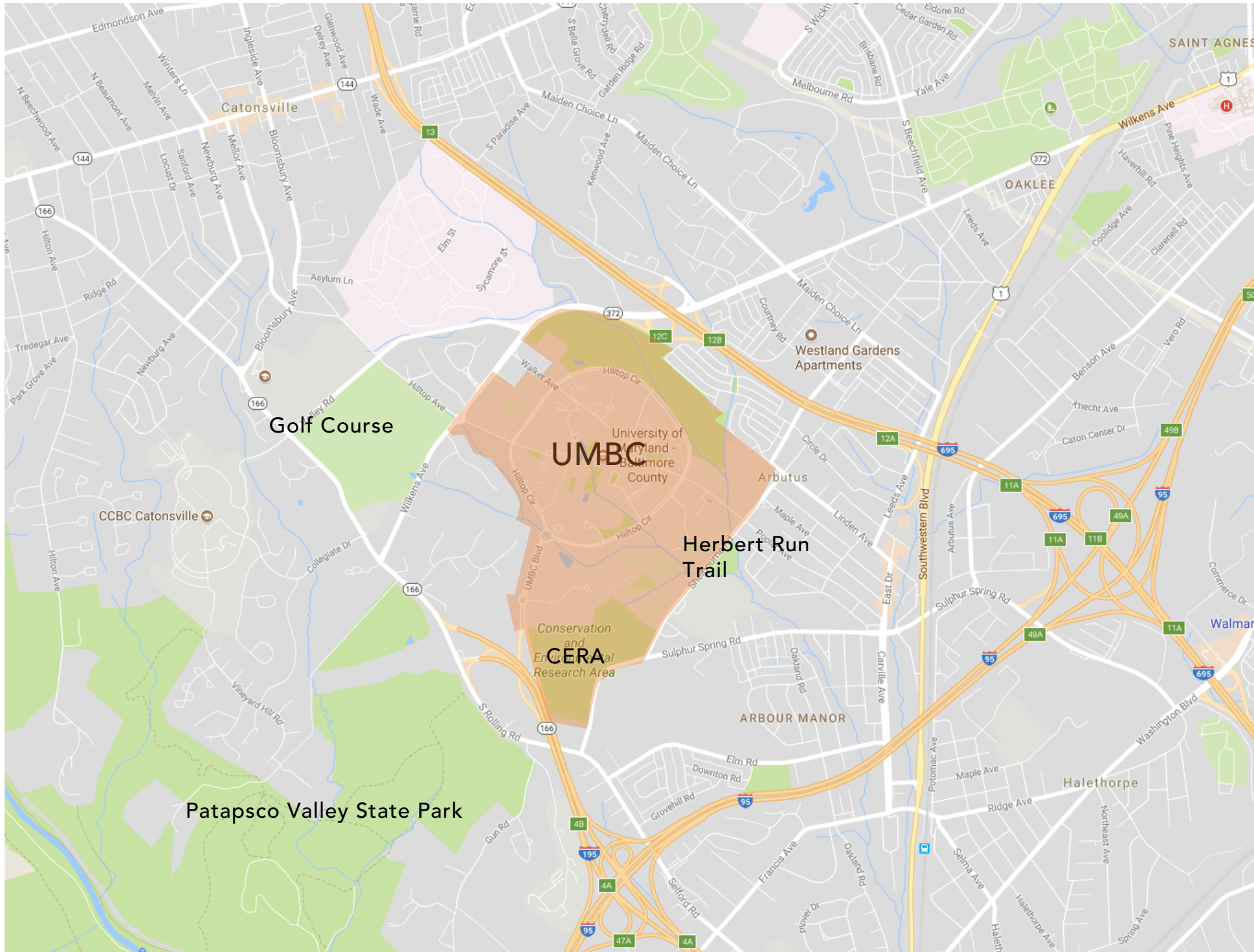
Bicycle racks and marked paths strategically located to minimize conflicts with pedestrians



Commitment to Sustainability

Minimizing our impact on natural systems

- Stabilizing streams
- Preserving forests
- Removing invasive species
- Creating wetlands
- Incorporating green roofs
- Integrating stormwater management into open spaces
- Support pollinators - grow more and mow less
- Support research
- Building to high LEED standards



Regional Recreation

The campus is located near Patapsco Valley State Park with a range of recreational opportunities

There are also walking trails along the Herbert Run and throughout CERA



Key Areas

Vitalize the Heart of Campus

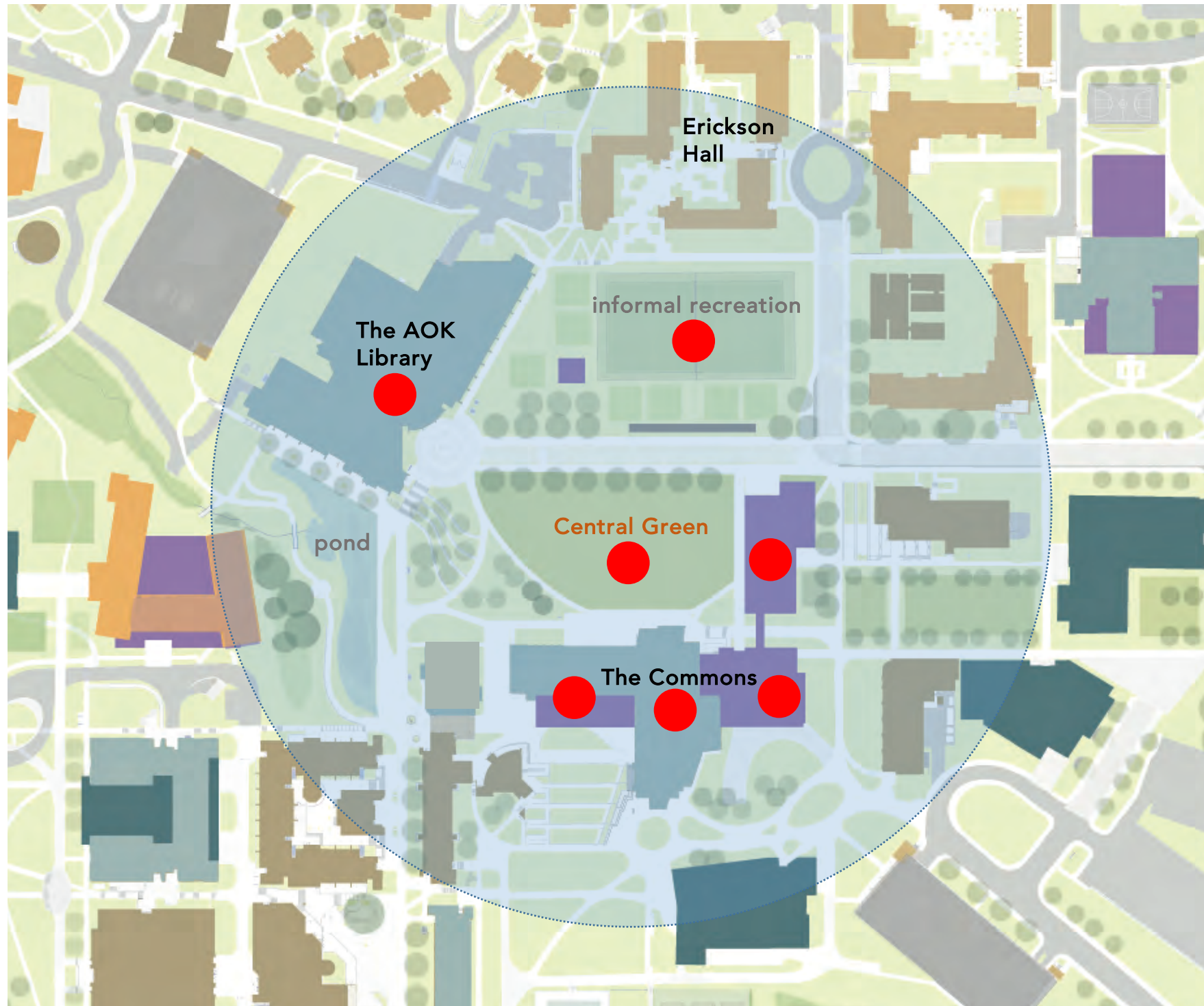
The Academic Core

The East Academic Village

New Residential Village

Athletics

Outreach and Recreation



Vitalize the Heart of Campus

Short-Term

Rec fields and courts at Erickson Hall

The Commons: interior renovation and patio infill

Medium-Term

The Commons expansion: kitchen, loading and dining

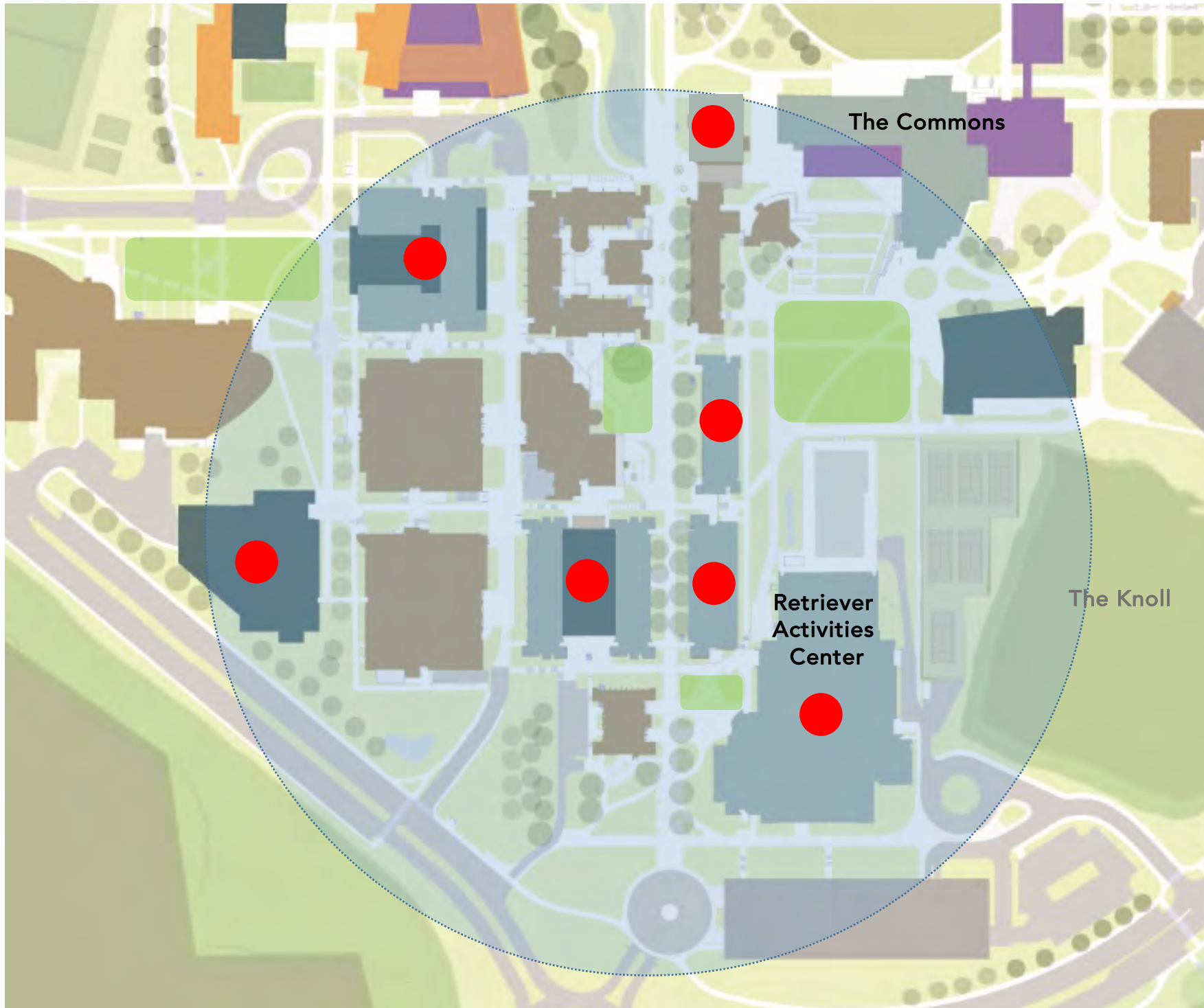
Central Green open space

AOK Library renovation

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The Commons expansion: ballroom

New Student Services/Student Life Building with bridge



The Academic Core

Short-Term

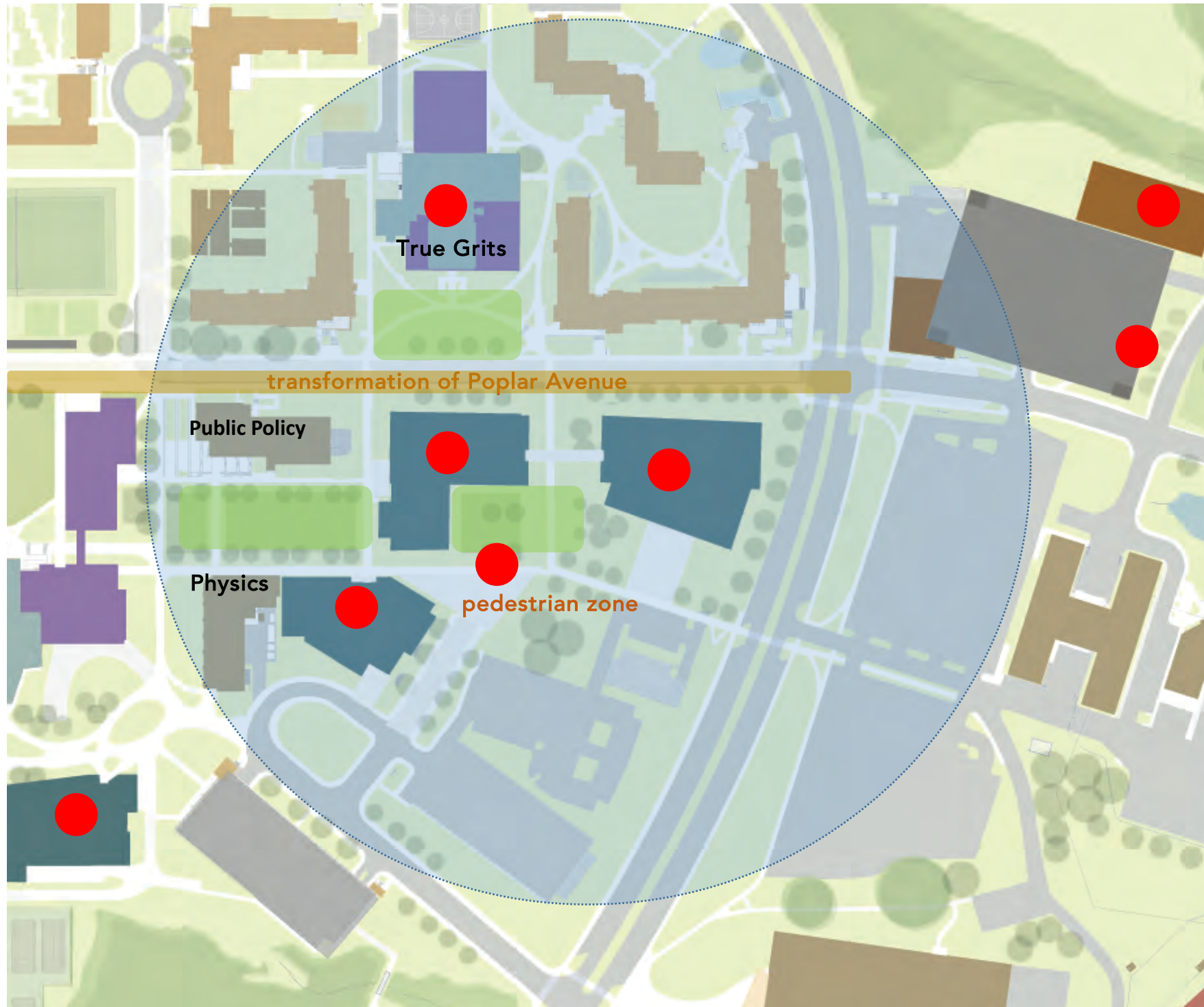
- RAC renewal
- GCVS Bldg renovation/addition
- New academic building
- Renovate Sondheim Hall
- Partial renovation of Biological Sciences Building
- Utility Upgrades

Medium-Term

- Renovate Math & Psychology Bldg

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- Renovate/expand Sherman Hall



East Academic Village

Short-Term

The ILSB

Medium-Term

New academic building

New parking garage with improved pedestrian, bicycle, and vehicular access, realigning Westland Blvd

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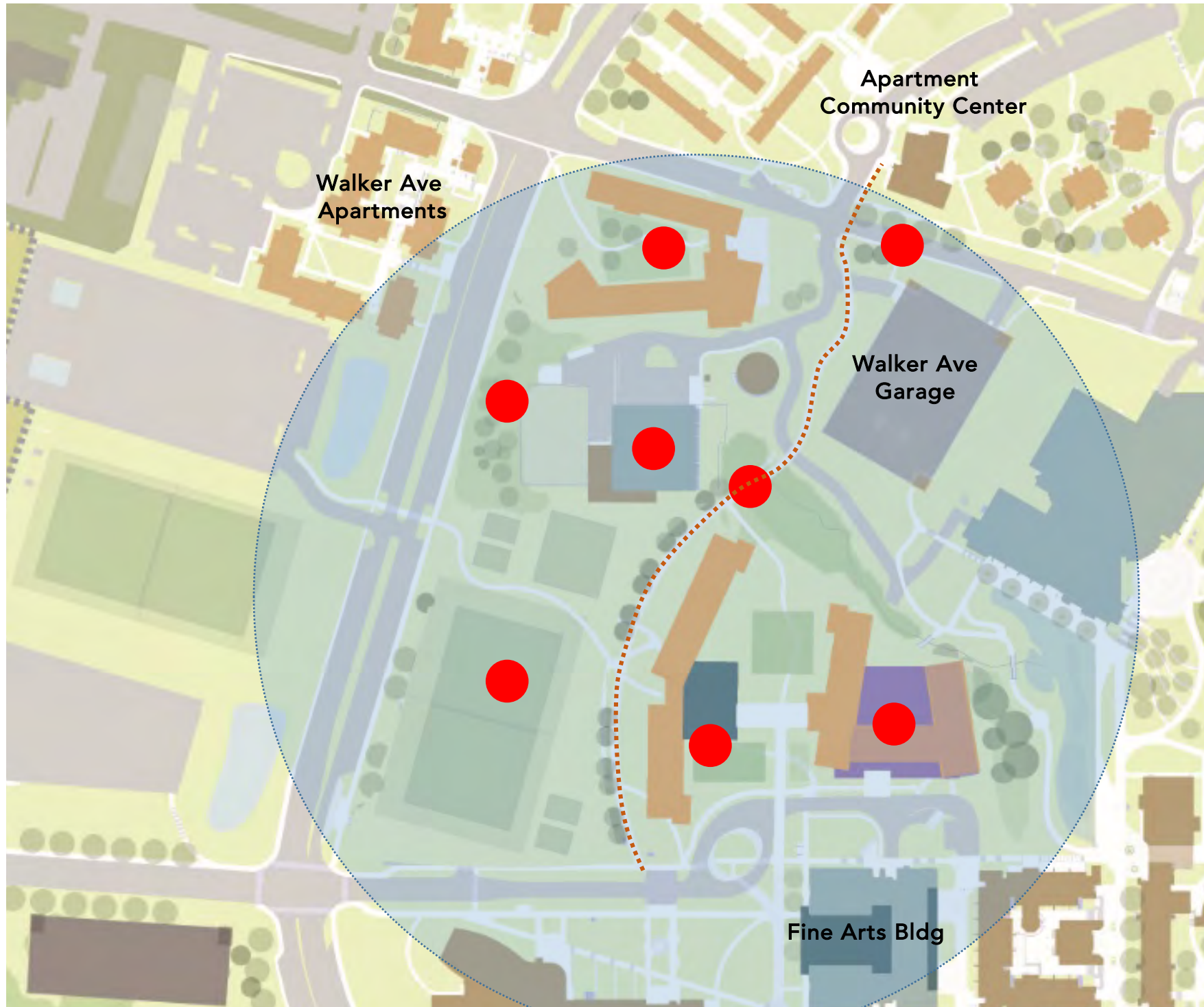
Two new academic buildings

Pedestrianize Poplar Avenue

Remove Park Road

Satellite Central Utility Plant

True Grits expansion



Residential Village

Short-Term

New 320 – 500 bed residential community with dining

Stormwater / landscape improvements

Upgrades to Central Plant equipment

Medium-Term

New 320 – 500 bed residential community with learning commons

Create pedestrian pathway and bridge between apartment communities and new housing

Realizing the Vision

New 500 bed residential community

New rec fields and court

Walker Avenue improvements



Athletics Precinct

Short-Term

UMBC Event Center

Stormwater and access enhancements

Improvements to the UMBC Stadium

Medium-Term

Retriever Soccer Park improvements

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Covered practice facility



Outreach

Short-Term

New parking garage

Public Private Partnership (PPP)

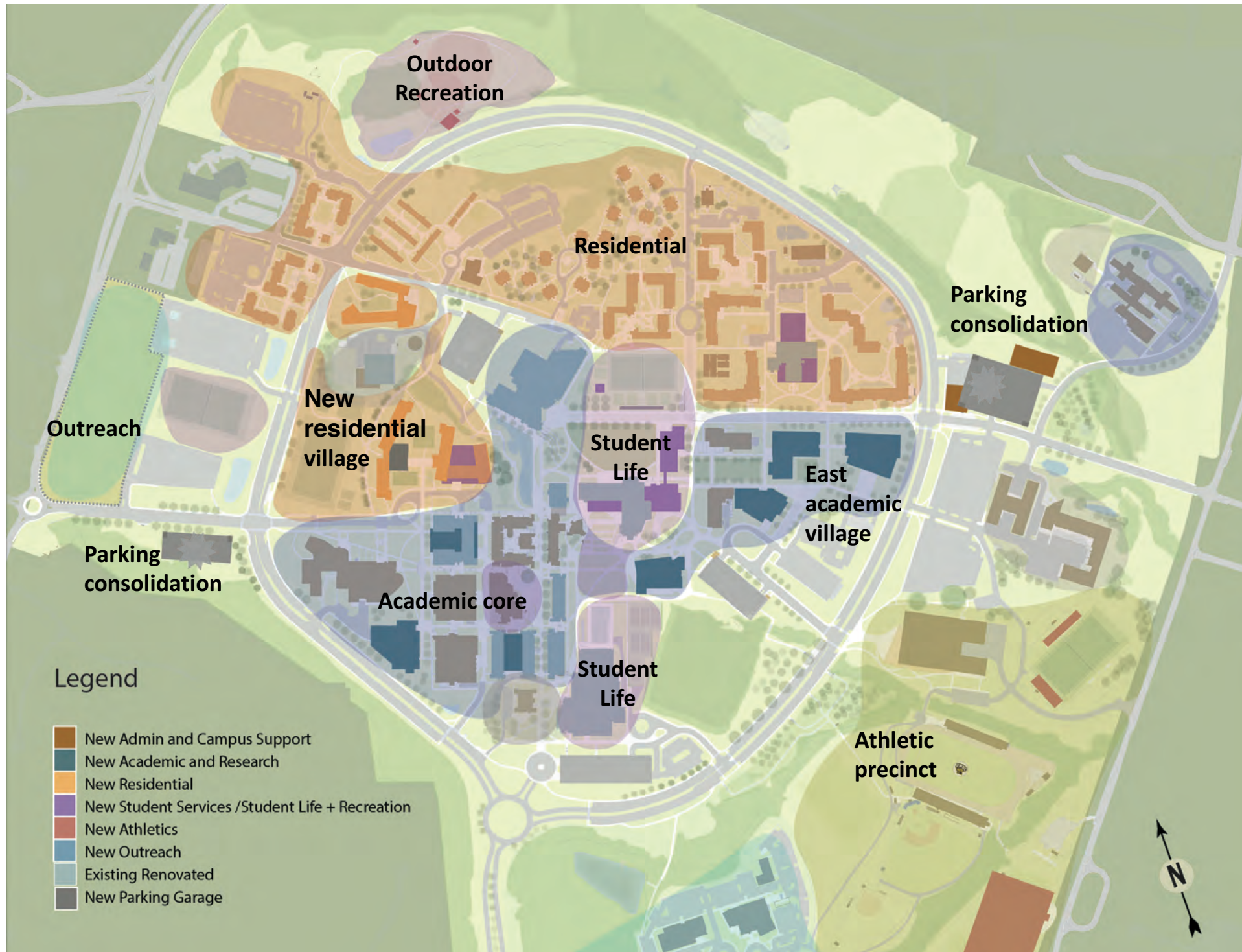
Medium-Term

Outdoor recreation area

Stormwater / landscape improvements

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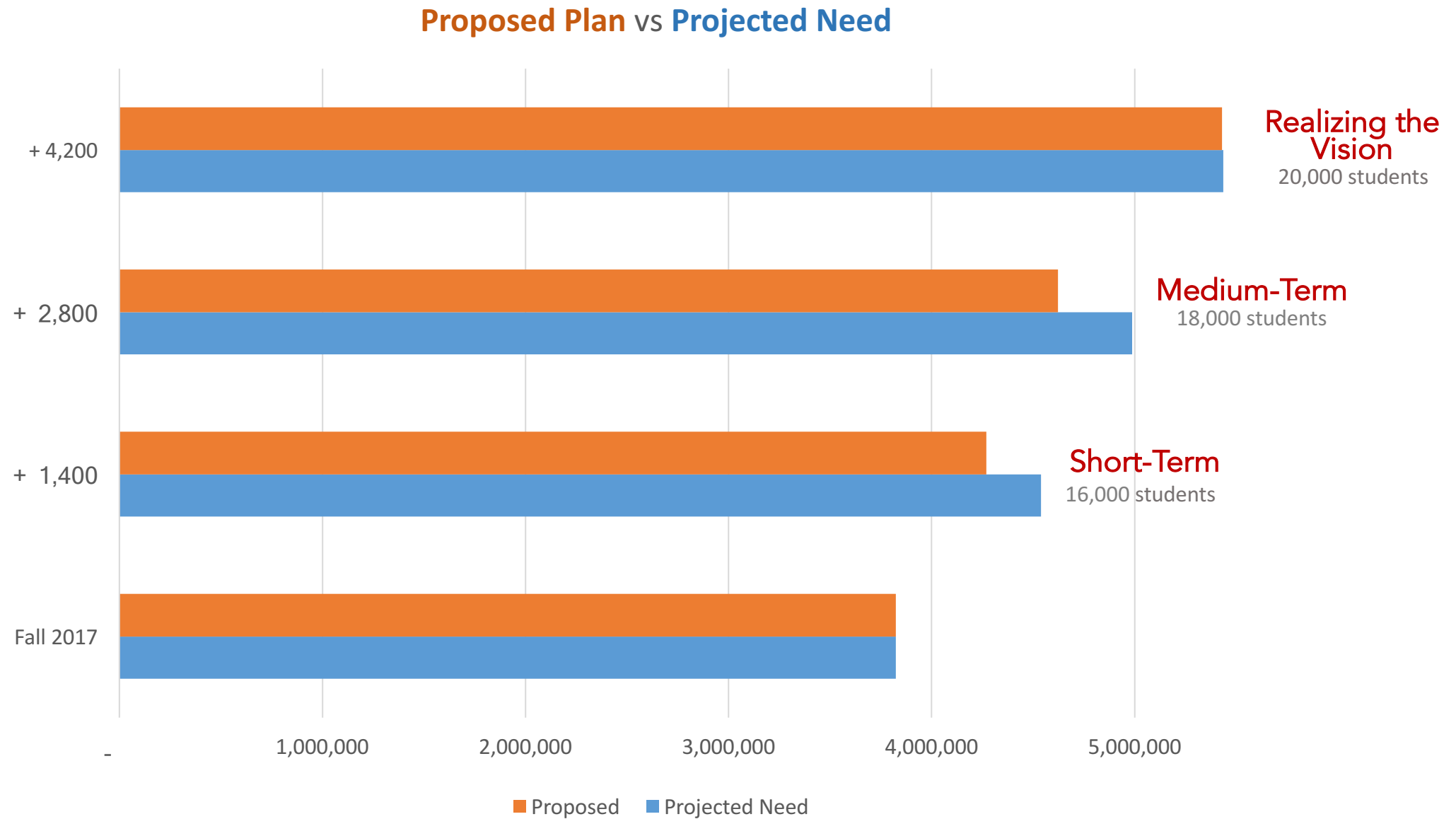
PPP expansion



REALIZING THE VISION

- Enhances student life
- Adds housing & dining
- Promotes research and instruction
- Renews buildings
- Support athletics
- Expands recreation
- Consolidates parking
- Develops sustainably

How well does proposed plan align with projected space needs?



* All square footages exclude parking garages and include Walker Avenue Apartments



Next Steps

Integrate community feedback

Develop report

Board of Regents Presentation in March 2018



Questions and Comments

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